



Planning Committee

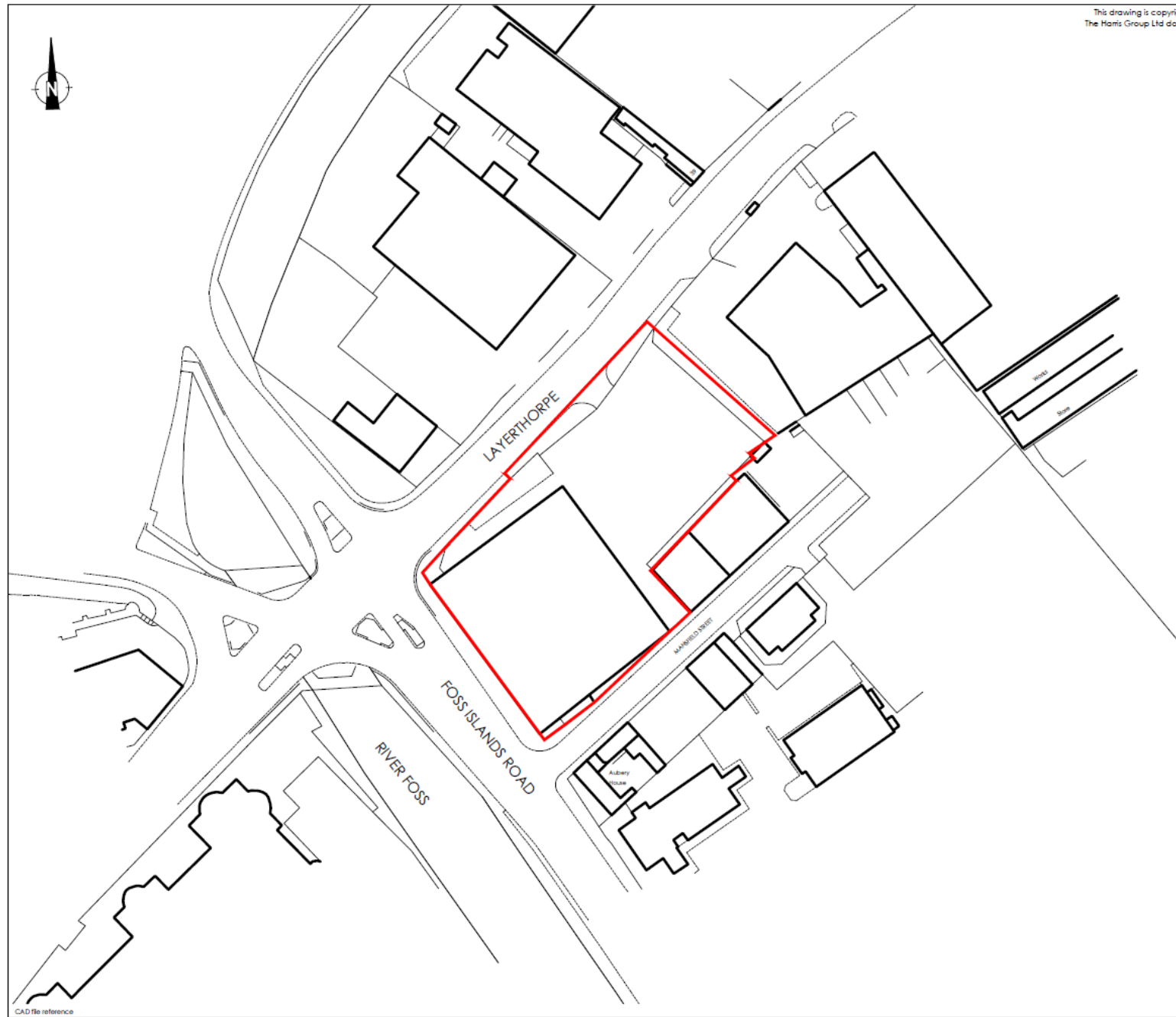
To be held remotely on 4th February at 4:30pm

20/00940/FULM – Former Carpetright, Layerthorpe, York

Erection of hotel with bar/restaurant, relocation of access and associated landscaping and car park following demolition of existing building

Site Location Plan

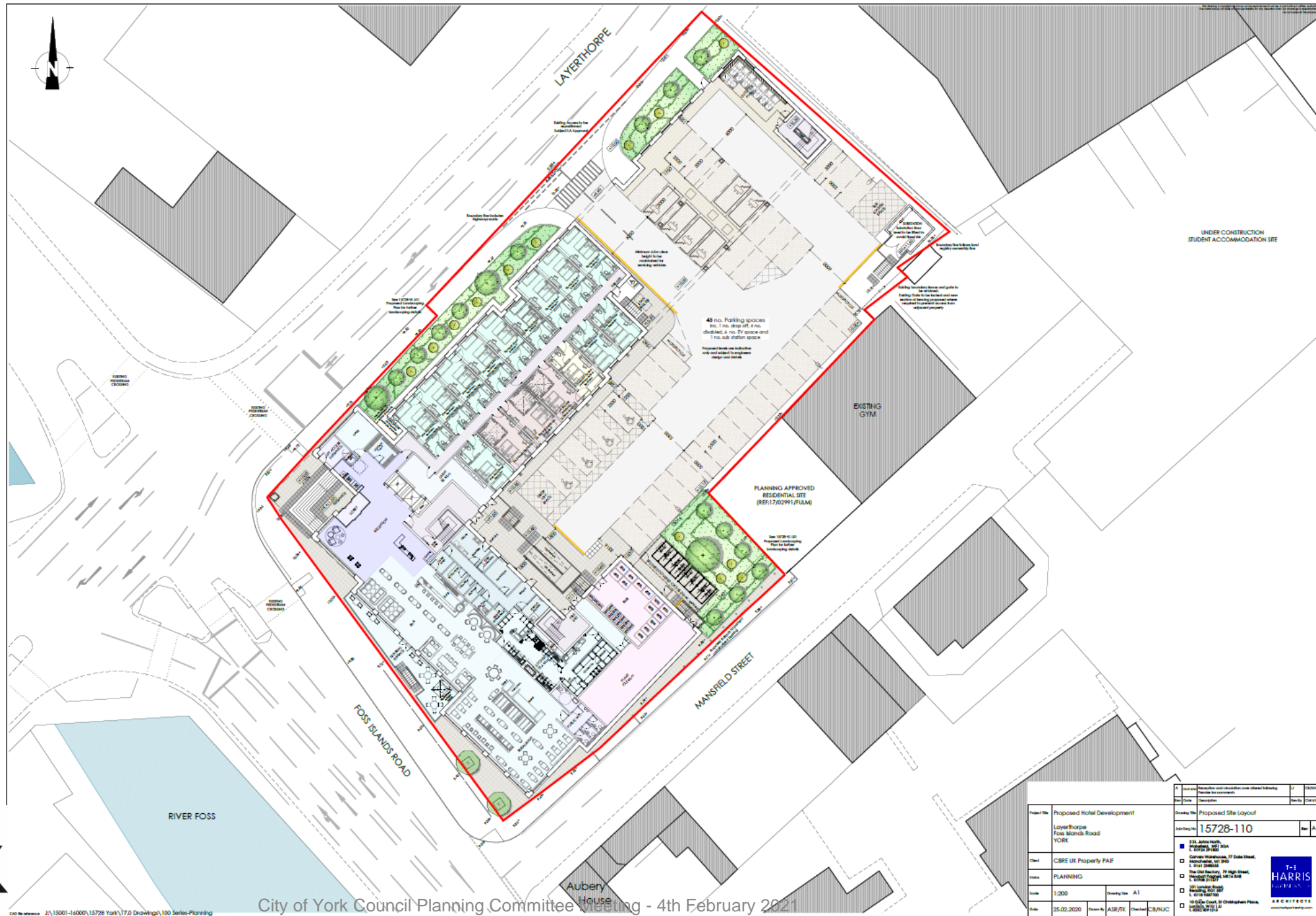
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Rev	Date	Description	Rev By	Chkd By
A	08.06.2020	Scale Altered to 1:1250	LJ	—
Project Title		Proposed Development		
		Layerthorpe Foss Islands Road YORK		
Client		CBRE UK Property PAIF		
Status		PLANNING		
Scale		1:1250	Drawing Size A4	
Date	03.2020	Drawn By	LJ	Chkd by NJC
Drawing Title		Location Plan		
Job-Dwg No		15728-502	Rev	A
<input checked="" type="checkbox"/> 2 St. Johns North, Wakefield, WF1 3QA T. 01924 291800 <input type="checkbox"/> Carvers Warehouse, 77 Dale Street, Manchester, M1 2HG T. 0161 2388555 <input type="checkbox"/> The Old Rectory, 79 High Street, Newport Pagnell, MK16 8AS T. 01908 211577 <input type="checkbox"/> 101 London Road, Reading, RG1 5BT T. 0118 9507700 <input type="checkbox"/> 10 Gees Court, St Christophers Place, London, W1U 1JJ T. 0207 4091215		 <p>THE HARRIS PARTNERSHIP ARCHITECTS www.harrispartnership.com</p>		



Proposed Site Layout Plan



City of York Council Planning Committee Meeting - 4th February 2021

Project Title: Proposed Hotel Development Layerthorpe Foss Islands Road YORK		Drawing No.: 15728-110 Rev: A	
Client: CBRE UK Property PAF		Address: 215 James Street, York, YO1 1JG	
Phase: PLANNING		Scale: 1:200	
Date: 25.02.2020		Author: ASR/TE	
Check: CB/NJC		Drawn: CB/NJC	



Proposed Elevations A, B and C



Elevation A Layerthorpe Elevation



Elevation B Internal Courtyard Elevation



Elevation C Foss Islands Road Elevation



Proposed Development Layerthorpe York

Client: CBRE UK Property PAIF
 Date: 07/05/20
 Job/Draw: 15725-V114C-Proposed Elevations
 Scale: 1:2008 A0

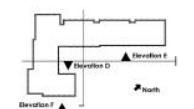
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www.harrispartnership.com



Proposed Elevations D, E and F



- 1. Network: Brown / Dark Reddish-brown or similar TMA
- 2. Brickwork: Brown / Grey / Dark Reddish-brown / Dark or similar TMA
- 3. Flat metal cladding: Anodised aluminium cladding in light/medium bronze finish
- 4. Cladding: Green / Cladding: Forest Green / Cladding: Forest Green / Cladding: Forest Green
- 5. Vertical cladding: Light Dove / Forest Green / Dark Dove / Forest Green / Dark Dove / Forest Green
- 6. Brickwork: Dark Reddish-brown / Dark Reddish-brown / Dark Reddish-brown / Dark Reddish-brown
- 7. Brickwork: Dark Reddish-brown / Dark Reddish-brown / Dark Reddish-brown / Dark Reddish-brown
- 8. Brickwork: Dark Reddish-brown / Dark Reddish-brown / Dark Reddish-brown / Dark Reddish-brown
- 9. Brickwork: Dark Reddish-brown / Dark Reddish-brown / Dark Reddish-brown / Dark Reddish-brown
- 10. Brickwork: Dark Reddish-brown / Dark Reddish-brown / Dark Reddish-brown / Dark Reddish-brown



**Proposed Development
Layerthorpe
York**

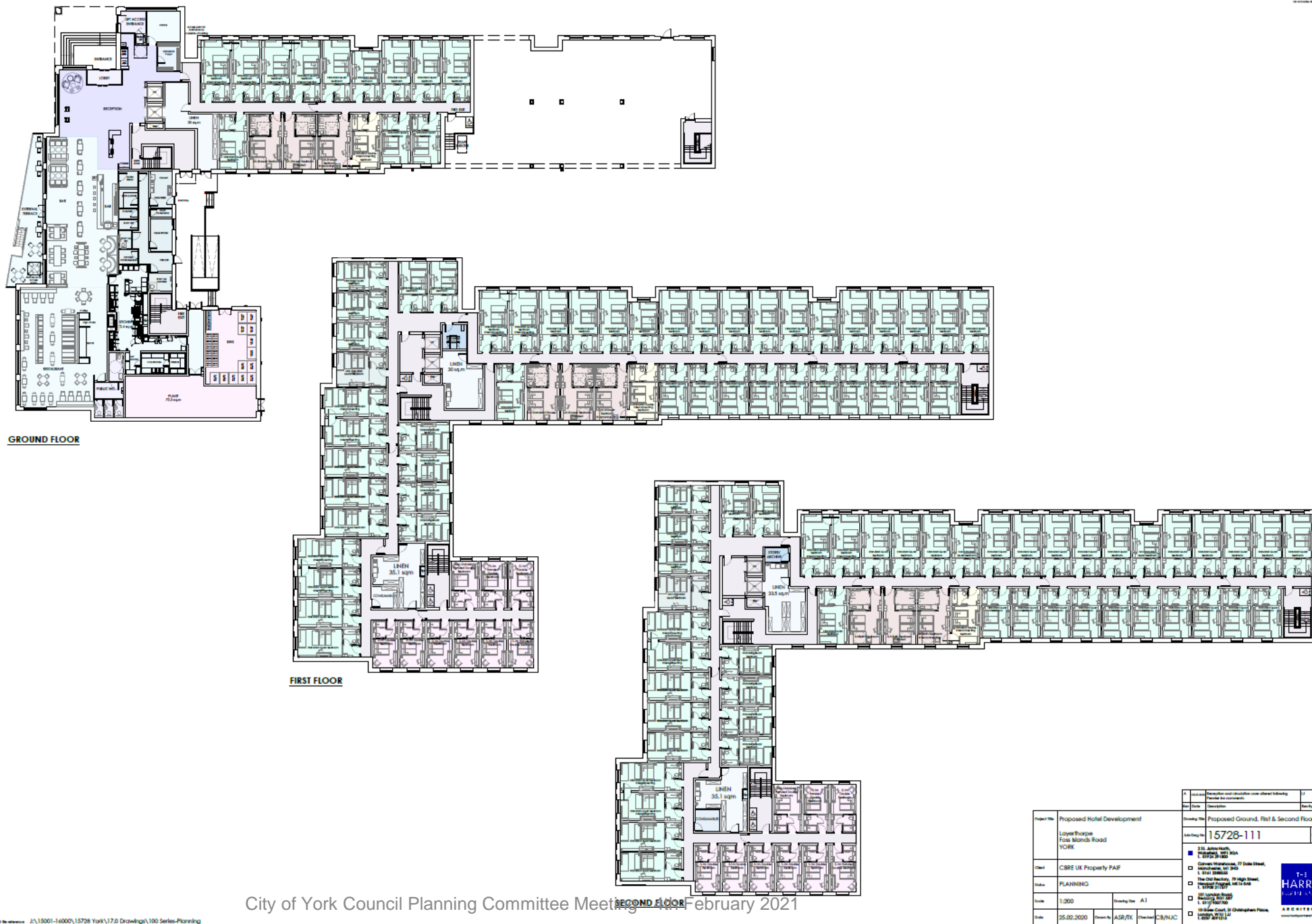
Client: CBRE UK Property PAJF
Date: 07/05/20
Job/Dwg: 15728-V1198-Proposed Elevations
Scale: 1:200@ A0

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Proposed Ground, First and Second Floors



City of York Council Planning Committee Meeting 16 February 2021

J:\15001-16000\15728 York\17.0 Drawings\100 Series-Planning

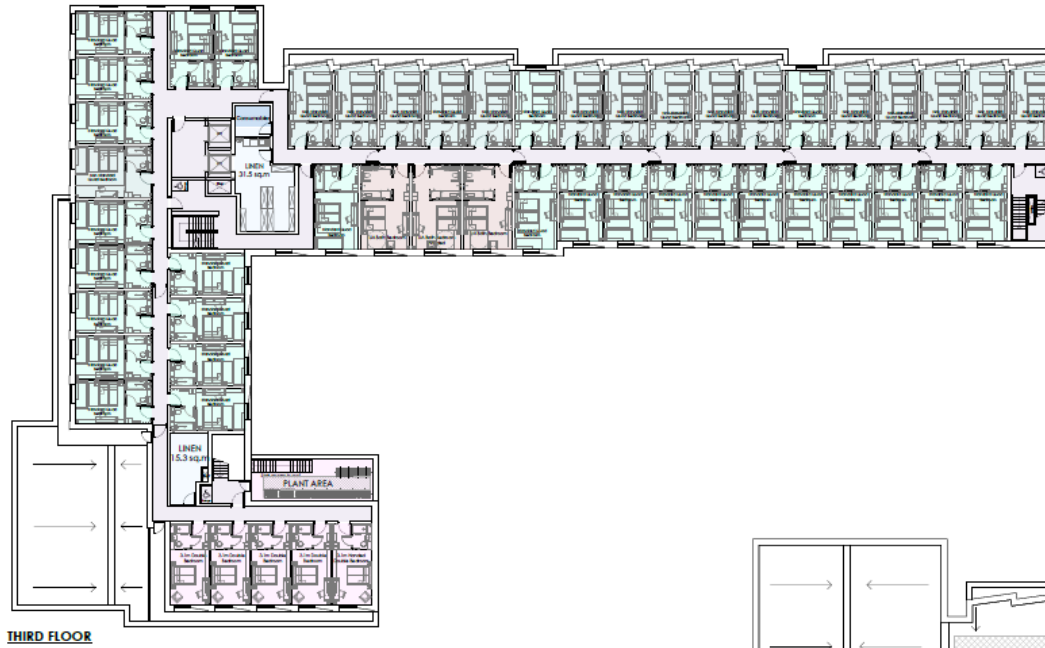
Project No.	Proposed Hotel Development		Drawing No.	Proposed Ground, First & Second Floor	
Client	Loyal Forge Fosse Islands Road YORK		Site No.	15728-111	
Drawn	ASR/RE		Scale	A1	
Date	25.02.2020		Sheet	A	
Check	CBRE UK Property PAF		Author	ASR	
Issue	PLANNING		Checked	CS/NUC	
Scale	1:200	Drawing Size	A1		
Date	25.02.2020	Drawn By	ASR/RE	Checked By	CS/NUC

2 St. Andrew's, York, YO1 1AA
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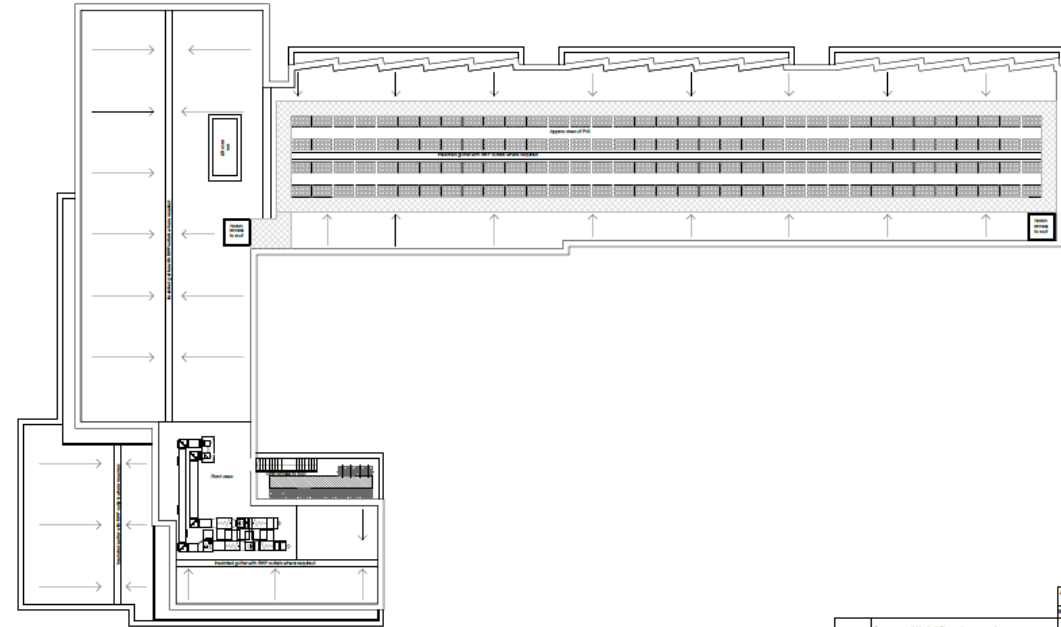
3 St. Andrew's, York, YO1 1AA
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Proposed Third Floor and Roof Plan



THIRD FLOOR



ROOF PLAN



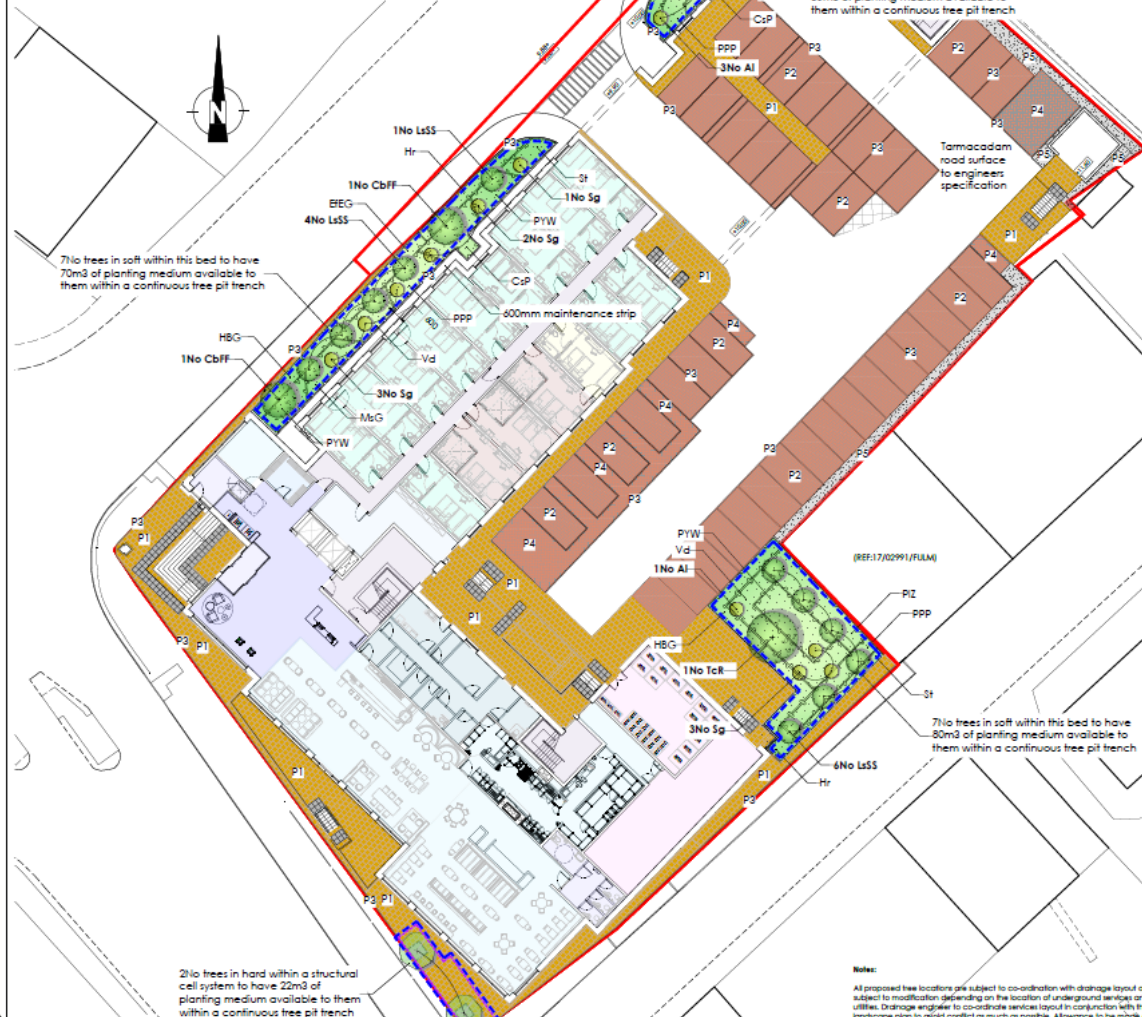
City of York Council Planning Committee Meeting - 4th February 2021

Project No: Proposed Hotel Development Layerthorpe Fox Blanks Road YORK		Drawing No: 15728-112 Rev: A	
Client: CBRE UK Property PAF		2 St. John's Court York, YO1 1AA	
Date: PLANNING		The Old Rectory, 27 High Street, York YO1 1AA	
Scale: 1:200		Drawing No: A1	
Date: 25.02.2020		Drawn by: ASB/TK Checked: CB/NUC	



Proposed Landscape Plan

PLANTING SCHEDULES										
Name	Abb.	Form	Age	Girth	Height (cm)	Clear stem	Root	Breaks	Density	Total No
Ornamental Trees										
Carpinus betulus 'Frans Fontaine'	CFP	Standard semi mature	4x	20-25	min 450	min 200	RB	/	Item	4
Liquidambar styraciflua 'Sander's Houelle'	LSL	Standard semi mature	4x	20-25	min 450	min 200	RB	/	Item	14
Tilia cordata 'Brancher'	TCB	Standard semi mature	4x	20-25	min 450	min 200	RB	/	Item	1
Specimen Shrubs										
Amelanchier lamarckii	Al	250-300	RB	/	Multi Stem	3	3x	Item	4	
Prunus alpinica	Sa	/	C	1.5	3 or V	/	/	Item	9	
Ornamental Planting										
Name	Abb.	Height	Root	Container	Habit	Breaks	Density			
Coronilla selonica 'Pumilio'	CP	/	C	SL	V	/	4/m ²			
Buonymus fortunei 'Emerald & Gold'	BEG	20-300	C	SL	Bushy	7	5/m ²			
Helle Blue Derry	HB	30-400	C	SL	Bushy	5	5/m ²			
Helle violacea	HV	30-400	C	SL	Bushy	5	5/m ²			
Lonicera nitida 'Maggreen'	LNM	30-400	C	SL	Bushy	6	5/m ²			
Miscanthus sinensis 'Gracillimus'	MG	/	C	SL	V	/	5/m ²			
Phloxium 'Pink Panther'	PP	/	C	7L	Triple Crown	/	3/m ²			
Phloxium 'Yellow Wizard'	PLY	/	C	7L	Triple Crown	/	3/m ²			
Pinus laevis 'Saberline'	PZ	30-40	C	SL	Bushy	3	4/m ²			
Silpa tenuisima	ST	/	C	SL	S or V	/	5/m ²			
Viburnum davidii	Vd	20-30	C	SL	Bushy	3	5/m ²			



SOFT LANDSCAPE SPECIFICATION

NOTE: All soft landscape works to be carried out in accordance with BS438:1989.

SUBSOIL:
All subsoil should be free draining and well aerated and in accordance with BS 8601:2013. Subsoil should be broken up to relieve compaction and aid drainage prior to topsoiling to the following depths:
- For light and non cohesive subsoils: 300mm
- For all clay and cohesive subsoils: 400mm
Immediately before spreading topsoil, remove stones larger than 50mm.

TOPSOIL:
To be supplied and spread for the main contractor to the approval of the Landscape contractor. In accordance with the parameters of a multi purpose topsoil as laid out in BS 3602: 2015. To be a natural sandy loam, of medium texture, with pH between 5.5 and 7.8, not more than 10% clay silt and free of pernicious weeds. Subsoil to be well broken up prior to topsoiling to relieve compaction. Topsoil depth should be:
Areas for Ornamental Shrub Planting: minimum 400mm

CULTIVATION:
Weeds to be prevented from seeding or becoming established by applying a suitable herbicide and allowing the correct time to elapse, as directed by the manufacturer. Compacted soil to be broken up to a depth of 100mm, with any stones, grass tufts or subsoil larger than 50mm in any direction to be removed, leaving a regular and even surface. Suitable slow release fertilizer to be supplied and spread @ 50g/m² to all planted areas.

CLIMATIC CONDITIONS:
Topsoiling should be carried out in the drier conditions possible - cultivation to be carried out when the soil is moist, friable and not waterlogged or frozen. Topsoil should not be handled during or after heavy rainfall or when it is wetter than the plastic limit as defined by BS 3602. Planting should not take place in waterlogged conditions or when the ground is frozen.

SOIL AMENDMENT:
Fast-flow compost to be spread over ornamental shrub beds @ minimum 50mm depth prior to cultivation.

TREES:
All trees within shrub beds to be planted in separate pits in accordance with tree planting detail.
All plant material to comply with BS 3091 Part 1: 1992, to be obtained from nursery certified by the VFA and transported to site in accordance with the VFA Plant Handling Guide: 1996. All trees to be planted to the original root collar and secured in place with underground guying system in accordance with tree planting detail.
If the trees are planted outside of the planting season then containerised stock to be used in lieu of root balled but the same tree heights are still required - allowance to be made for this tender stage if required once construction finalised is known and CA informed immediately.

PROPOSED SHRUB PLANTING:
All shrubs to be positioned as shown on the drawing and to the density and specification listed in the plant schedule.
Planting holes to be 150mm wider than the root spread, have the base ground thoroughly broken up before planting and backfilled with peat free compost.
All shrubs to be evenly spaced throughout the planting area to the specified density in a staggered arrangement unless otherwise noted in the planting schedule.
Contractor to ensure numbers on schedule match those shown on drawing before placing any orders for plants. Any discrepancies to be brought to the attention of the landscape Architect upon delivery. Contractor to check on site dimensions of all landscape areas to ensure specified quantities will achieve the specified densities for each species.

SUBSTITUTIONS:
Upon submission of evidence that certain materials, including plant materials, are not available at the time of the landscape contract, the Landscape Contractor may be permitted to substitute other materials and plants in exceptional circumstances during the contract with an agreed adjustment of price.
All substitutions and the closest equivalent species and variety to the original specified shall be subject to approval by the landscape Architect before any change is made.

TIMES OF YEAR FOR PLANTING:
Landscape works to be carried out during the final possible planting periods prior to practical completion of the building and associated engineering works / car park areas in accordance with the following:
- Native and ornamental trees: During dormant winter period - Late October to late March (only if planned). In the planting season otherwise containerised stock to be used;
- Native and ornamental shrubs: During dormant winter period - Late October to late March (only if planned). In the planting season otherwise containerised stock to be used;
- Container grown ornamental and specimen shrubs: At any time if ground and weather conditions are favourable.

MULCH:
75mm depth of grey slate to be applied and spread to all planting areas. Finished mulch level to be installed and maintained of 25mm below any adjacent kerbs or paving surfaces.

MAINTENANCE:
All planting areas to be maintained to a high standard by the contractor for 12 months after practical completion, to ensure the landscape scheme is successful, and discourage decline of the area.
Minimum frequency of maintenance visits:
December / January / February & March - 1no. visit each month
April to November - 2no. visits each month.

Generally, during the first 12 months:
- All planting beds to be re-firmed and kept weed free through hand weeding and application of an approved herbicide where appropriate.
- All litter to be picked and removed from landscape areas.
- Mulch to be topped-up as required to maintain the specified thickness.
- The condition of all trees is to be regularly checked, with ties and stakes adjusted or replaced as necessary.
- Shrubs to be pruned at appropriate times of year for each species to promote healthy growth and desirable ornamental features.
- All stings to be removed from site.
- Any defects or plant losses occurring during the first 12 months defects period to be replaced at the contractor expense.

GENERAL WATERING:
All soft landscaping to be subject to a watering regime which is absolutely essential to ensure the continued success of the scheme, particularly during the initial 12 month establishment period. The watering frequency should be as necessary to ensure the continued thriving of all grass, hedges, trees and ornamental planting. During dry periods minimum weekly visits should be made to the site to ensure the soil has not dried out and to action watering if necessary. The soil should be checked for dryness using either a soil moisture sensor or by feeling a spade into the ground to a depth of 200mm to observe the appearance of the soil. If the soil is moist there is no need to water but if it is below dry then watering procedure should be carried out immediately. Water supply should be from potable mains water or an approved alternative. The full depth of topsoil should be well without loosening or damaging plants. Any compacted soil should be broken up sufficiently to allow water to reach the rootzone.

WATERING TREES:
Trees to be watered in accordance with BS 8604:2014 tree - from Nursery to independence.
Trees should be watered via the installed irrigation / operation pipes around the base of the trees stem in accordance with the manufacturer's instructions to ensure the water reaches the roots of the tree. Below is a suggested watering regime but this should be used as a guide only and may require modification in times of drought or flood, dependent on the ground conditions of the time, which should be monitored as above:
- March - October: 20 litres to be poured into irrigation pipes two times per week (40 litres in total)

HARD LANDSCAPE KEY:

- P1** Proposed slab paving
To be Marshalls Conservation textured paving 450x500mm in herringbone laid half bonded
- P2** Proposed permeable block paving
To be Marshalls Tegula P1000 permeable block paving 160x120mm in traditional laid in 90 degree herringbone pattern
- P3** Proposed edging strip to demark site boundary from public highway and to edge car parking bays
To be Marshalls Conservation edging 63x150x91.5mm in silver grey laid in single stretcher course
- P4** Proposed permeable block paving
To be Marshalls Tegula P1000 permeable block paving 160x120mm in traditional laid in 45 degree herringbone pattern
- P5** Proposed gravel margin
To be laid over a permeable geotextile membrane
- P6** Proposed hazard warning paving to stairs
To be Marshalls localite hazard warning slabs 400x400mm in dark grey laid in stacked double row
- P7** Proposed ribbed roof barrier
To be Greenline Libon ReRoof 1000 ribbed roof barrier. Installed in accordance with manufacturer recommendations.

SOFT LANDSCAPE KEY:

- T1** Proposed fastigiated trees in soft landscape
Refer to schedule for species and specification
Refer to drawing notes for minimum soil volumes (subject to detailed design)
- T2** Proposed fastigiated trees in hard landscape
Refer to schedule for species and specification
To be planted in an underground structural cell system - Refer to drawing notes for minimum soil volumes (subject to detailed design)
- S** Proposed specimen shrubs
Refer to schedule for species and specification
- OS** Proposed ornamental shrub planting
Refer to planting schedule for species & specification

Notes:
All proposed tree locations are subject to co-ordination with drainage layout and subject to modification depending on the location of underground services and utilities. Drainage engineer to coordinate service layout in conjunction with the landscape plan to avoid conflict as much as possible. Allowance to be made at tender stage for the possible requirement for root barriers, once the drainage layout is confirmed by the relevant authority.

City of York Council Planning Committee Meeting 4th February 2021



Project No:	Proposed Hotel Development	Drawing No:	Landscape Plan
Client:	LayerHouse Foss Road YORK	Reference:	15728-VL L01-1-C
Drawn:	CBRE UK Property PAF	Scale:	1:200
Check:	PLANNING	Drawing Title:	A1
Issue:	1:2000	Drawn:	DW
Checked:	DW	Issue:	12/19

vector
design concepts

LA@SCAPE DESIGNERS
4 ST JOHN'S NORTH, WALSLEY, WILSHIRE, TB. 01934 203554
www.vector-design.com

Visualisation – View
from Foss Islands
Road



Visualisation – View
from Foss Islands
Road (2)



Visualisation –
Layerthorpe (1)



Visualisation – Layerthorpe (2)



Visualisation –
Layerthorpe (3)



Visualisation –
View from
Jewbury



Visualisation –
View from
Jewbury (2)



Visualisation –
View across
River Foss from
Kings Pool



Proposed Development - Layerthorpe Road, York

Client: CBRE UK Property PAIF
Date: 07/04/20
Job/Dwg: 15728 CGI 02A



Visualisation –
Entrance Fronting
Foss Island Road



Visualisation –
View from City
Walls



Visualisation – View
from City Walls (2)

